

**JUNE 19, 2018 ZONING HEARING
“OTHER BUSINESS”
COMMISSION DISTRICT 2**

ITEM OB-031

PURPOSE

To consider a stipulation and a site plan amendment for Broadstone Windy Ridge, LLC regarding rezoning application Z-27 of 2015 for property located at the southwest intersection of Powers Ferry Road and Windy Ridge Parkway, in Land Lots 985 and 1008 of the 17th District (2020 Powers Ferry Road).

BACKGROUND

The subject property is zoned Urban Village Commercial (UVC) for a mixed use development consisting of 280 apartments and 8,000 square feet of commercial space subject to numerous stipulations. The project is under construction and the applicant needs to modify the stipulations and the site plan to finish the project. The applicant would like to clarify the building architecture and use which are addressed in Exhibits B, C and D. The applicant would also like to amend the site plan which is incorporated into Exhibits E and F. The applicant has submitted many exhibits which are attached to this item, along with a detailed list of amendments. If approved, all other zoning stipulations not in conflict with this amendment would remain in effect.

STAFF COMMENTS

Cobb DOT: 1) Recommend applicant be required to meet all Cobb County Development Standards and Ordinances related to project improvements; 2) Recommend restriping the crosswalk and gore around the median at the southwest corner of Powers Ferry Road at Windy Ridge Parkway; 3) Recommend all nonconforming items (i.e trees, stairs, and pavers) be moved outside of the right-of-way. Cobb County DOT does not maintain pavers, stairs, or the type of tree shown on the site plan; 4) Recommend applicant consider entering into a development agreement pursuant to O.C.G.A. 36-71-13 for dedication of the following system improvements to mitigate traffic concerns: a) donation of right-

(Continued on the next page)

**JUNE 19, 2018 ZONING HEARING
"OTHER BUSINESS"
COMMISSION DISTRICT 2
PAGE 2**

ITEM OB-031 (continued)

of-way on Windy Ridge Parkway to accommodate a planned 10' multi-use trail; b) traffic signal at Windy Ridge Parkway entrance should it become warranted in the future; 5) Recommend a 10' multi-use trail along the frontage of Windy Ridge Parkway; and 6) Recommend applicant submit site details to Cobb DOT for coordination with Cobb County Airport Manager to determine potential need for a FAA study.

Stormwater: Subject to Plan Review.

RECOMMENDATION

The Board of Commissioners conduct a Public Hearing and consider the proposed stipulation and site plan amendment.

ATTACHMENTS

Other Business application and Exhibits & proposed plans.

Application for "Other Business"

06-31-2018

Cobb County, Georgia

(Cobb County Zoning Division - 770-528-2035)

BOC Hearing Date Requested: 6/19/18

Applicant: BROADSTONE WINDY RIDGE, LLC Phone #: 404-923-8206
(applicant's name printed)

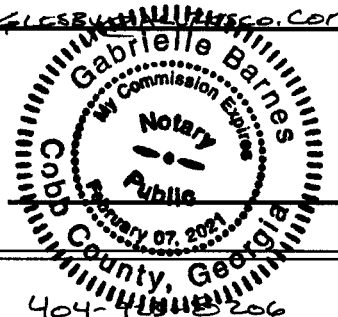
Address: 2020 POWERS FERRY ROAD, ATLANTA, GA 30339 E-Mail: TOGLESBY@ALFRESCO.COM

TODD OGLESBY Address: 3715 NORTHSIDE PKWY, SUITE 1102, ATLANTA, GA 30327
(representative's name, printed)

TODD OGLESBY Phone #: 404-923-8206 E-Mail: TOGLESBY@ALFRESCO.COM
(representative's signature)

Signed, sealed and delivered in presence of:

RECEIVED
MAY 16 2018
My commission expires:
COBB CO. COMM. DEPT. AGENCY
ZONING DIVISION



[Signature]
Notary Public

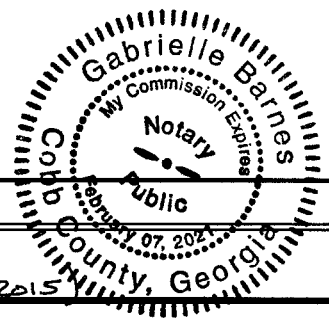
Titleholder(s): BROADSTONE WINDY RIDGE, LLC Phone #: 404-923-8206
(property owner's name printed)

Address: 2020 POWERS FERRY RD, ATLANTA, GA 30339 E-Mail: TOGLESBY@ALFRESCO.COM

TODD OGLESBY
(Property owner's signature)

Signed, sealed and delivered in presence of:

My commission expires:



[Signature]
Notary Public

Commission District: 2 **Zoning Case:** Z-27/2015

Size of property in acres: 3.14 ACRES **Original Date of Hearing:** JUNE 14, 2015

Location: 2020 POWERS FERRY RD (INTERSECTION OF POWERS FERRY RD + WINDY RIDGE PKWY)
(street address, if applicable; nearest intersection, etc.)

Land Lot(s): 985/1008 **District(s):** 17TH

State specifically the need or reason(s) for Other Business: _____

SEE ATTACHED

(List or attach additional information if needed)

To amend the zoning stipulations letter and exhibits that were approved on June 16, 2015 to reflect modifications to the plans required based on existing site conditions and design constraints. While not all of the items below would require approval of the BOC, as many are minor changes, we are providing for clarity and in the interest of efficiency.

The Commercial Component and Pedestrian Corner Park conceptual renderings (attached as Exhibit B) reflects the proposed final configuration of the Commercial area, the location of the leasing office across from the existing office building, and shall serve as a replacement for the Original Exhibit "B" from the approved zoning.

The revised Exhibit C elevations identify the current locations of finish materials, signage and balconies. Full vs Juliet balcony locations are clarified. These plans would replace the Original Exhibit "C" from the approved zoning. It is proposed that the building elevations be revised to match Exhibit B, to include enhancements at the corner of Windy Ridge and Powers Ferry by providing additional masonry and storefront glass.

The attached retail build out plans (attached as Exhibit D) reflect the final design of the Commercial spaces; these will be permitted separately, and upon approval, will serve as the basis for the buildout of the Commercial spaces.

A Pedestrian Corner Park has been added at the corner of Windy Ridge and Powers Ferry, which is not shown in the zoning documents, and provides access to the retail in lieu of stairs down from Powers Ferry (concept attached as Exhibit E). The plaza will include low level lighting.

The current Site Plan documents (Exhibit F) has been revised from the original zoning to incorporate final grades and to add a loading area at the rear of the property. Sidewalk, site walls and landscape planting layouts are proposed to be revised to reflect the concepts shown in Exhibits B and E.

Exhibits:

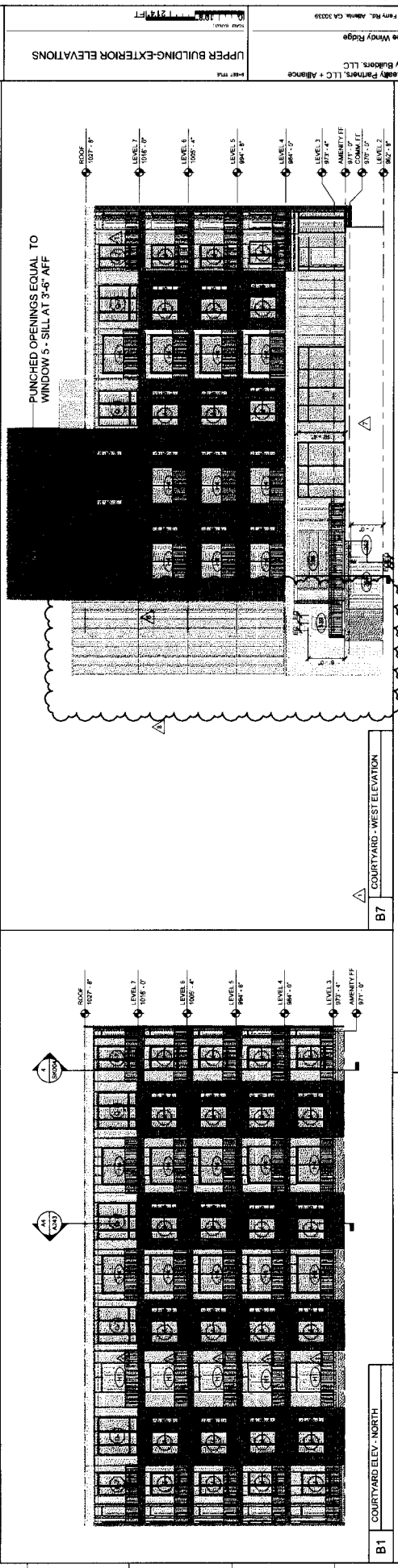
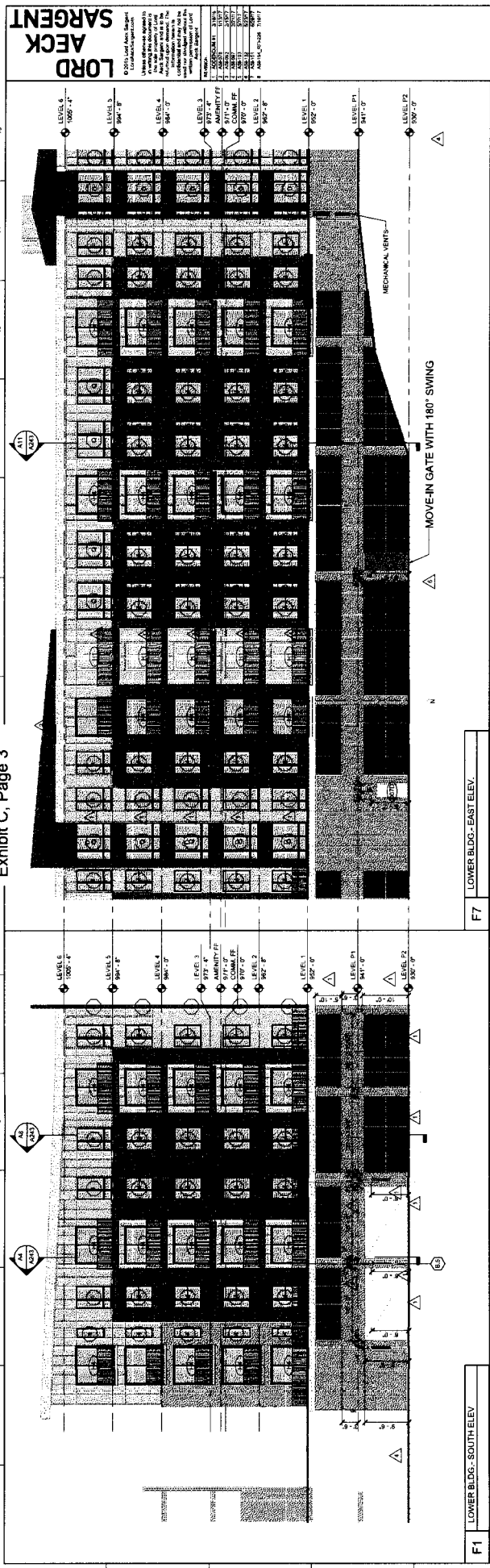
- B** *Proposed Corner Park Enhancement*
- C** *Elevations*
- D** *Retail Build Out Plans*
- E** *Concept for Pedestrian Corner Park*
- F** *Current Site Plan Documents*

EXHIBIT B: PROPOSED CORNER PARK ENHANCEMENT

Exhibit B, Page 1



EXHIBIT C: ELEVATIONS



ELEVATION GENERAL NOTES

- UPGRADED RIBBON ALUM EXHAUST LOWER CAP ON NORTH SOUTH WEST FACADE. SEWIO OR TYP ROUND ALUMINUM
- REFER TO ELEVATION MATERIAL SCHEDULE FOR EXTERIOR MATERIAL AND COLOR SELECTION
- ALL EXTERIOR MATERIALS TO BE FINISHED AND PAINTED TO MATCH EXISTING MATERIALS UNLESS NOTED OTHERWISE
- REFER TO SPECIFICATIONS FOR EXTERIOR COORS, WINDOWS, AND STOREFRONT SYSTEMS
- REFER TO SPECIFICATIONS FOR PAINTED STEEL GUARDRAILS ON ELEVATED BALCONIES ARE TO BE FACEMOUNTED BALCONIES
- PROVIDE PREFINISHED METAL COPING CAP AT ALL PARAPETS, PROVIDE PREFINISHED EDGE METAL AT GUTTER LOCATIONS
- LOCATED AT RISER CORNERS, TYP. JOINT LOCATIONS ARE NOTED ON ELEVATIONS. ADDITIONALLY, BRACK EXPANSION JOINTS TO BE
- SEE PART 1.1 FOR WINDOW AND STOREFRONT SCHEDULES

ELEVATION MATERIAL LEGEND

	FIBER CEMENT BOARD & BATTEN SHERWIN WILLIAMS LIGHT WHITE SW 7014
	FIBER CEMENT TRIM WHITE
	FIBER CEMENT LVS-SINO DARK GRAY SHERWIN WILLIAMS QUANTZ GRAY SW 7018
	METAL MESH PINKING SCREEN DARK
	DARK GRAY SHERWIN WILLIAMS LIGHT GRAY SW 7014
	WHITE SHERWIN WILLIAMS LIGHT GRAY SW 7014

FOR CONSTRUCTION

Advance Realty Partners, LLC + Alliance
Merrimitt Builders, LLC
Positions: Window Ridge
10000 Parkway Rd., Alhambra, CA 91803
DATE: 02/12/16
JOB NO.: 10856-00
A203

Seal of the State of California, Board of Civil Engineers, License No. 10856-00, Date: 02/12/16

© 2016 Merrimitt Builders, Inc. All Rights Reserved. This drawing is the property of Merrimitt Builders, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Merrimitt Builders, Inc.

EXHIBIT D: RETAIL BUILD OUT PLANS

LORD AECK SARGENT
 6100 Lord Ave
 Suite 200
 San Francisco, CA 94104
 Tel: 415.774.2000
 Fax: 415.774.2001
 www.lordsack.com

Unless otherwise specified, all materials shall be of the highest quality and shall conform to the requirements of the applicable building codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals for the work shown on this drawing.

DATE: 01/15/19
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 APPROVED BY: [Redacted]

PROJECT: [Redacted]
 SHEET: [Redacted]

FOR CONSTRUCTION

1025 Powers Ferry Rd., Atlanta, GA 30339

Brookstone Windy Ridge
 Multifamily Builders, LLC + Alliance

3/2/18
 10596-00

IA-008C

DOOR SCHEDULE, STAIR DETAILS

SHEET SPECIFIC NOTES

GENERAL NOTES

MATERIAL KEYNOTES

13

12

11

10

9

8

7

6

5

4

001

323

323

324

325

568P9

568Q9

568

I-102

I-104

I-110

I-111

I-112

I-113

I-114

I-501

I-503

I-504

I-505

I-507

I-508

I-509

I-510

4'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

3'-0"

ALUM

ALUM

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

WD

FF

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

PT

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

ALUM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

EM

**LORD
AECK
SARGENT**

1000 Power Entry Rd., Alhambra, CA 91803
 (626) 444-1000
 www.lordsargent.com

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

MATERIAL KEYNOTES

GENERAL NOTES
 A. CEILING HEIGHT MAY ADJUST FOR STRUCTURE

SHEET SPECIFIC NOTES

FOR CONSTRUCTION

3/2/18
 10596-00
 IA-405

Alfonse Realty Partners, LLC + Alliance
 Multifamily Builders, LLC
 Broadcom Windy Ridge
 2025 Power Entry Rd., Alhambra, CA 91803

OUTFITTERS - RCP

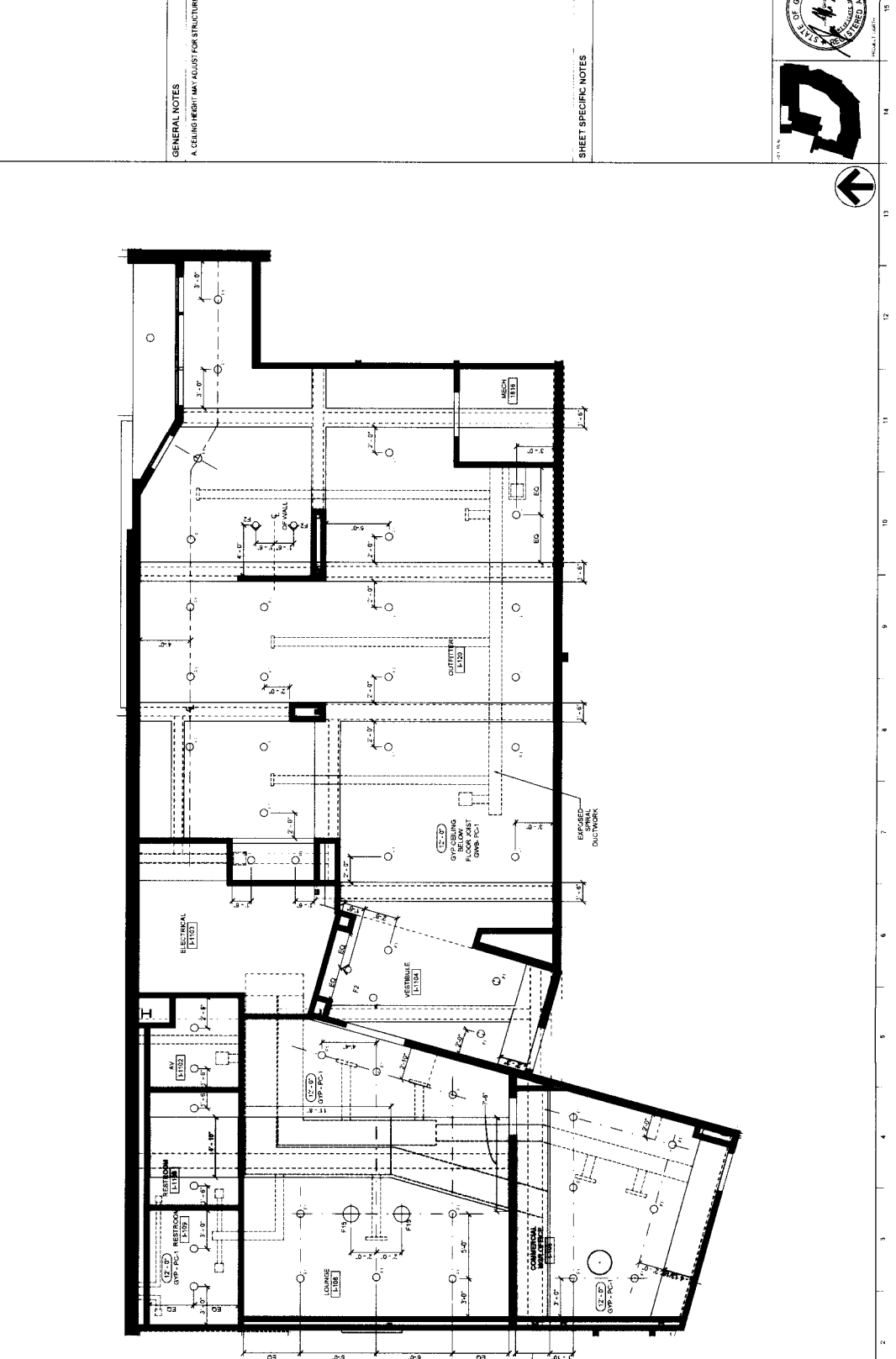


Exhibit D Page 7

2022 Phoenix Ferry Rd. Phoenix, AZ 85028
Broadstone Windy Ridge
10996-00
10/27/18

10996-00
10/27/18

IA-505



SHEET SPECIFIC NOTES

WHITEBOARD - RCP

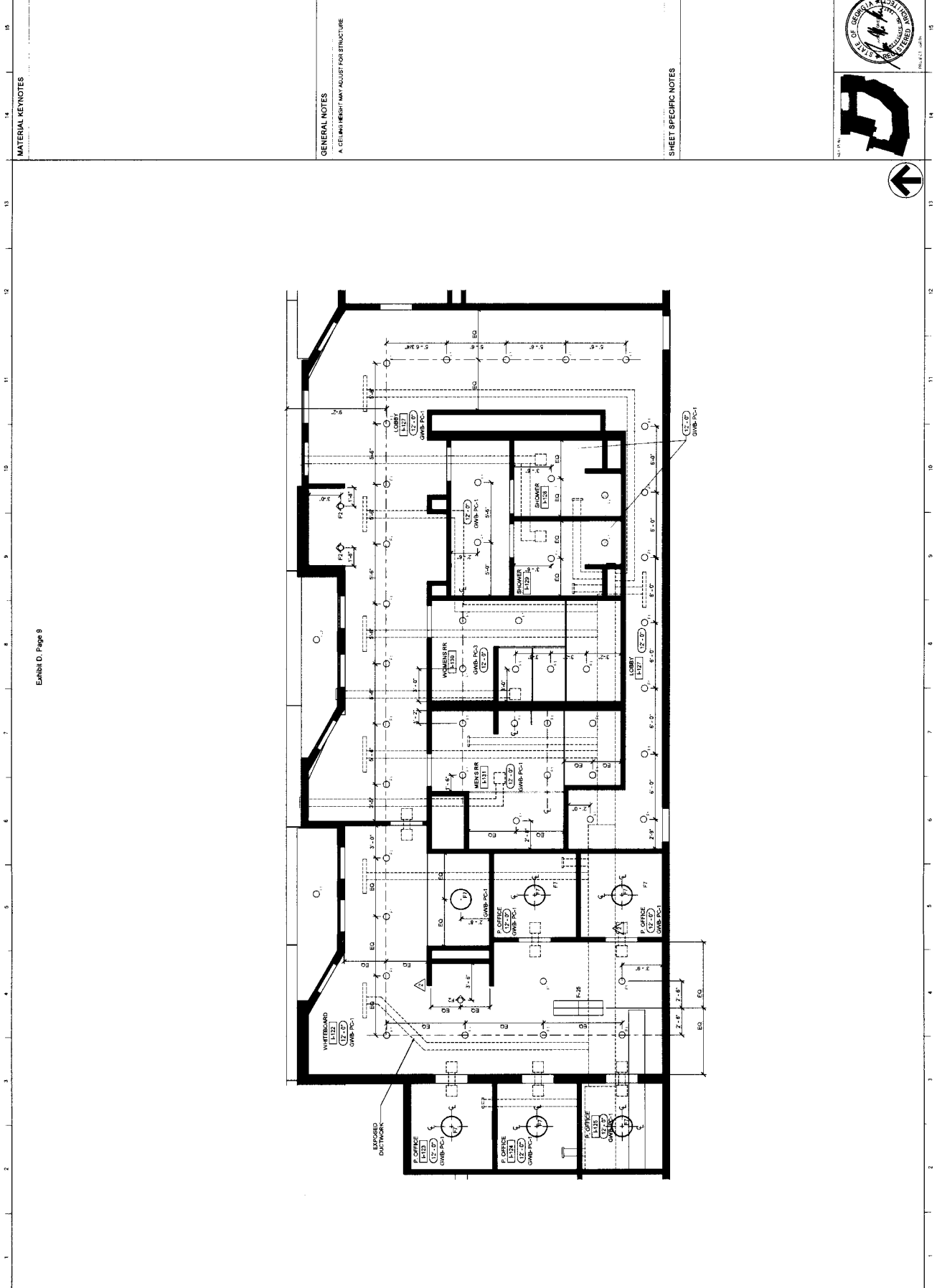
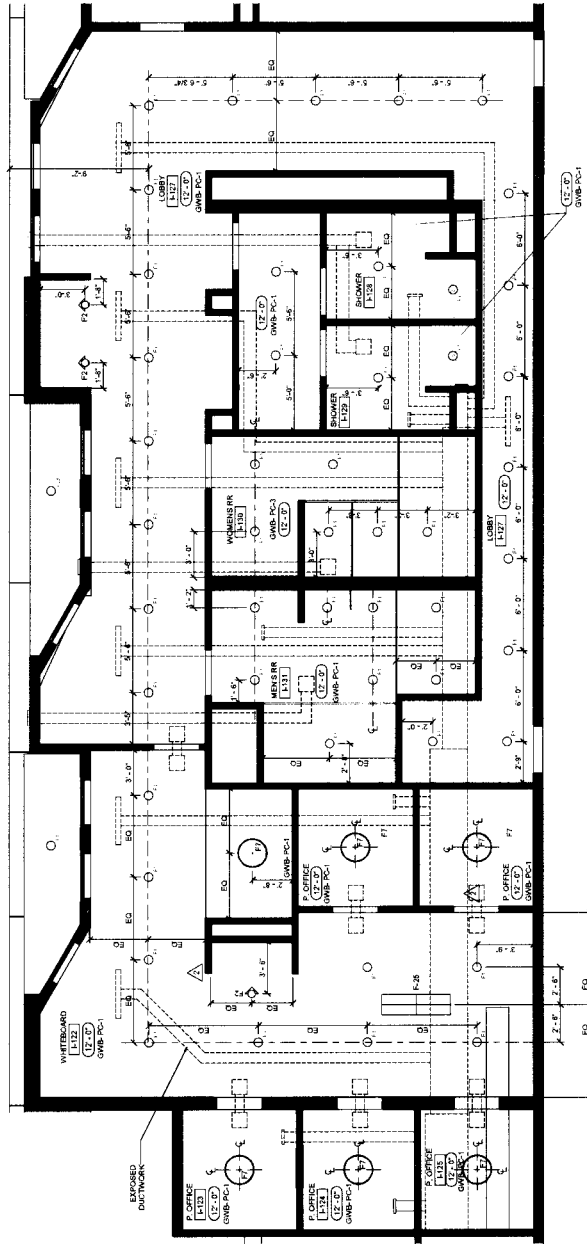
GENERAL NOTES
A. CEILING HEIGHT MAY ADJUST FOR STRUCTURE

MATERIAL KEYNOTES

LORD
AECK
SARGENT

© 2018 Lord Aeck Sargent
11000 North Central Expressway
Suite 1000
Phoenix, AZ 85028
www.lordsargent.com

Exhibit D, Page 8



**LORD
AECK
SARGENT**

10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310.274.2000
Fax: 310.274.2001
www.lordsack.com

NO.	DATE	DESCRIPTION
1	08/14/18	ISSUED FOR PERMIT
2	08/14/18	ISSUED FOR PERMIT
3	08/14/18	ISSUED FOR PERMIT
4	08/14/18	ISSUED FOR PERMIT
5	08/14/18	ISSUED FOR PERMIT
6	08/14/18	ISSUED FOR PERMIT
7	08/14/18	ISSUED FOR PERMIT
8	08/14/18	ISSUED FOR PERMIT
9	08/14/18	ISSUED FOR PERMIT
10	08/14/18	ISSUED FOR PERMIT
11	08/14/18	ISSUED FOR PERMIT
12	08/14/18	ISSUED FOR PERMIT
13	08/14/18	ISSUED FOR PERMIT
14	08/14/18	ISSUED FOR PERMIT
15	08/14/18	ISSUED FOR PERMIT
16	08/14/18	ISSUED FOR PERMIT
17	08/14/18	ISSUED FOR PERMIT
18	08/14/18	ISSUED FOR PERMIT
19	08/14/18	ISSUED FOR PERMIT
20	08/14/18	ISSUED FOR PERMIT

GENERAL NOTES
A. CEILING HEIGHT MAY ADJUST FOR STRUCTURE

MILE MARKER - RCP
SCALE: 1/8" = 1'-0"

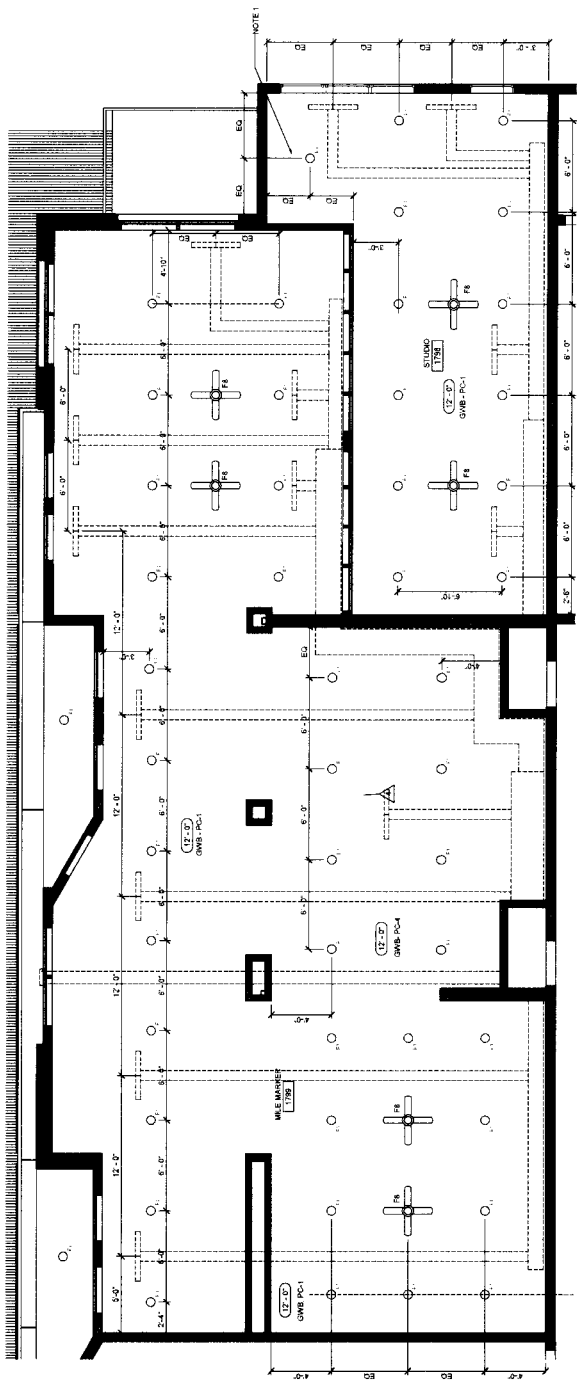
FOR CONSTRUCTION
Alliance Realty Partners, LLC + Alliance
Affinity Builders, LLC
Broadstone Windy Ridge
2000 Poway Ferry Rd., Alhambra, CA 91803
10001000
3/2/18
10586-00
IA-605



MATERIAL KEYNOTES

SHEET SPECIFIC NOTES
1. PROVIDE ADDITIONAL BLOOMING AT CEILING FOR TAX MACHINE.

Exhibit D Page 11



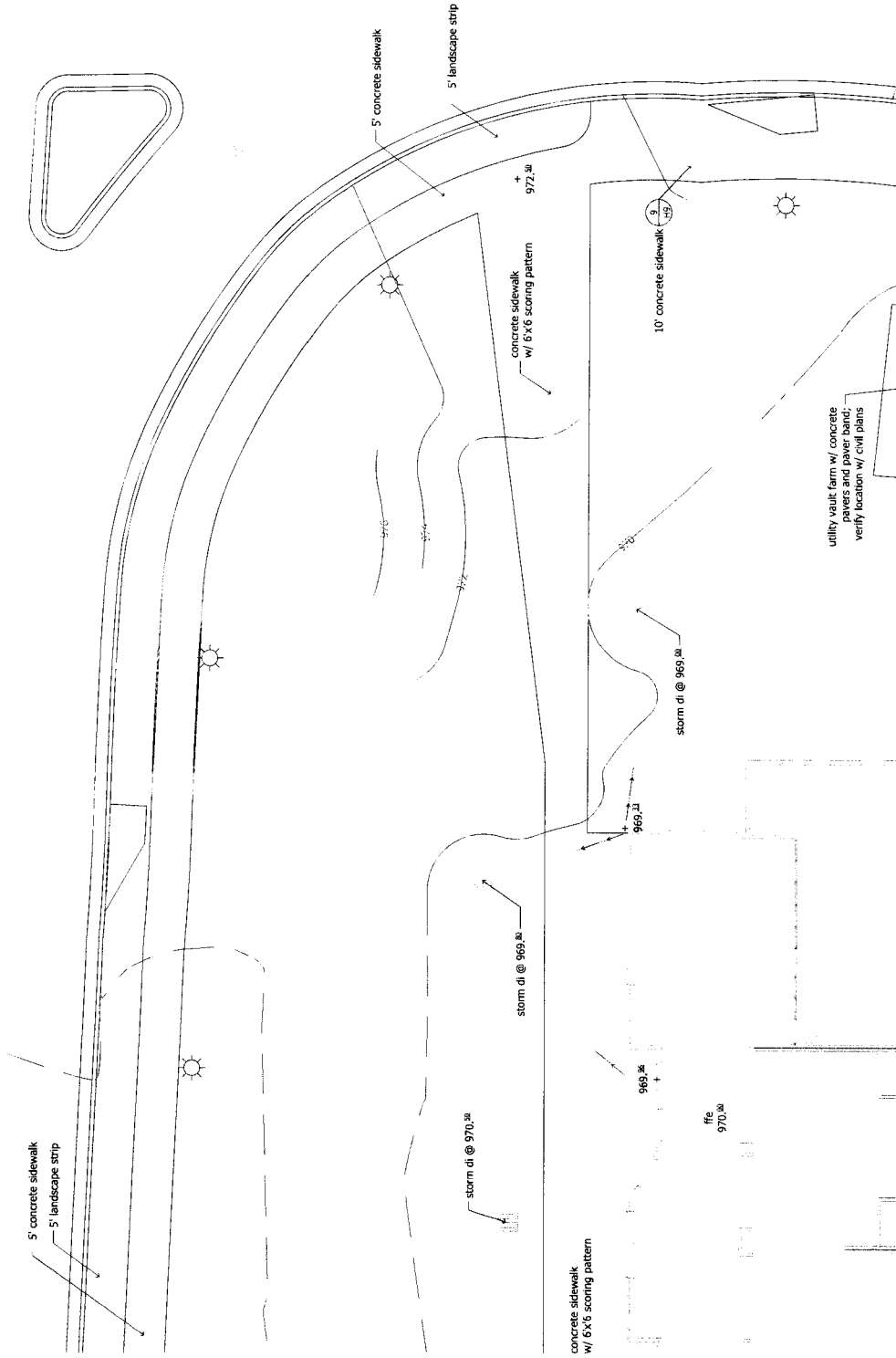
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19

EXHIBIT E: CONCEPT FOR PEDESTRIAN CORNER PARK

CURRENT CORNER PLAN

Exhibit E, Page 1



PROPOSED CORNER PARK RENDERED

Exhibit E, Page 3

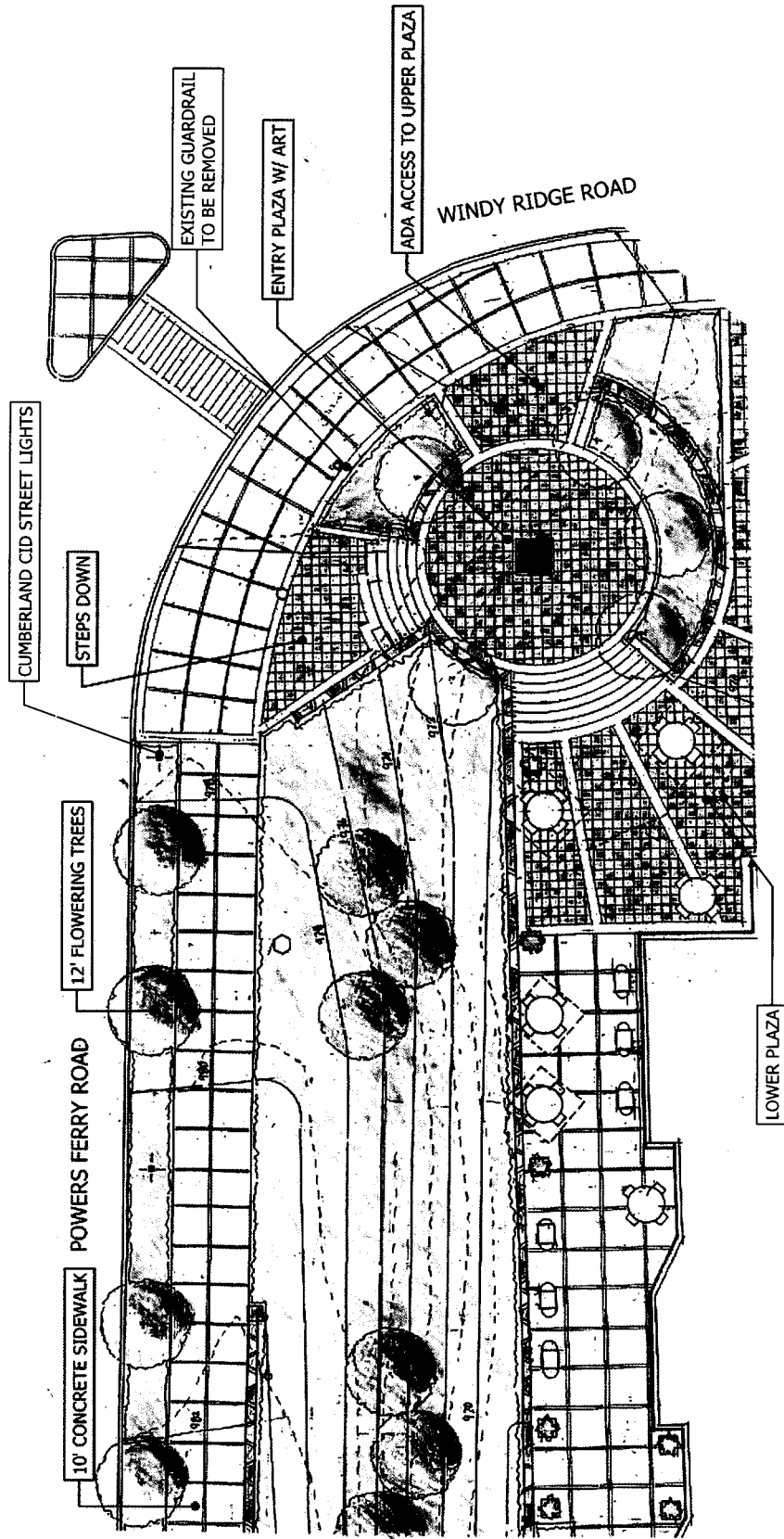


EXHIBIT F: CURRENT SITE PLANS WITH AREA FOR CORNER PARK IDENTIFIED

Exhibit F, Page 1

POWERS FERRY ROAD
(R/W VARIES)

AREA TO BE REVISED PER
PROPOSED PARK PLAN

BROADSTONE WINDY RIDGE
A MULTI-FAMILY DEVELOPMENT
FOR
ALLIANCE RESIDENTIAL COMPANY
3715 NORTHSIDE BLVD
ATLANTA, GEORGIA 30327
PHONE 404-867-9734

PLANNERS AND ENGINEERS COLLABORATIVE
THE PROVIDE SOLUTIONS™
17TH DISTRICT
3088 COUNTY
ROAD

SITE PLANNING & LANDSCAPE ARCHITECTURE & CIVIL ENGINEERING & LAND SURVEYING
390 RESEARCH COURT • NORCROSS, GEORGIA 30092 • 477-0912 • FAX 477-0913-998 • WWW.PEACATL.COM

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			

SITE PLAN
20-SCALE

SCALE: 1" = 20'
DATE: SEPTEMBER 29, 2015
PROJECT: 83027.18F

SHEET TITLE

1" = 20'
0 10 20

1-16-18

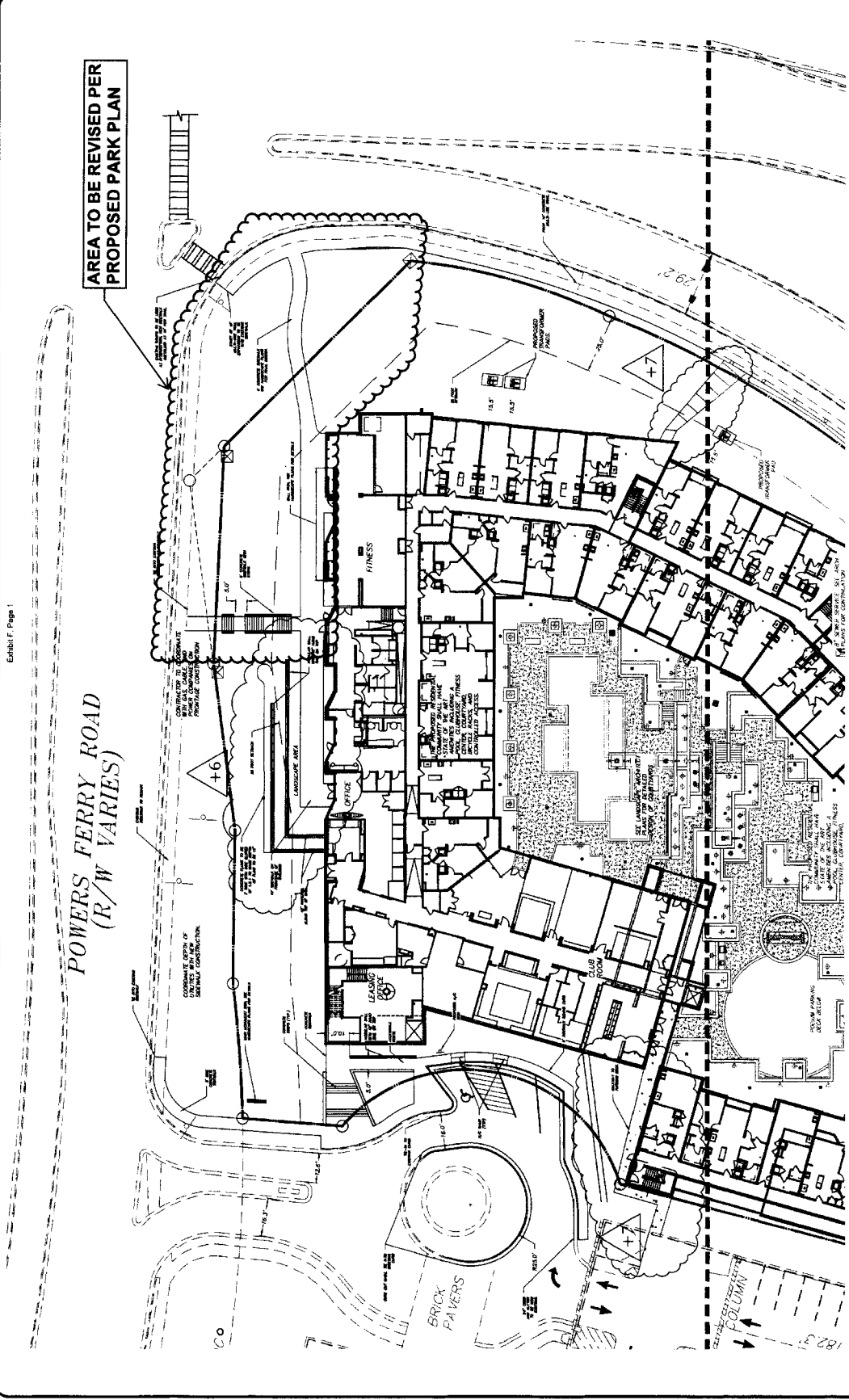
REGISTERED PROFESSIONAL
LANDSCAPE ARCHITECT
STATE OF GEORGIA

1-16-18

REGISTERED PROFESSIONAL
LANDSCAPE ARCHITECT
STATE OF GEORGIA

REGISTERED PROFESSIONAL
LANDSCAPE ARCHITECT
STATE OF GEORGIA

REGISTERED PROFESSIONAL
LANDSCAPE ARCHITECT
STATE OF GEORGIA



NOTE:
ADDITIONAL ACCESSIBLE SPACES ARE
LOCATED IN THE PARKING DECK

NOTE:
ACCESS AGREEMENT FOR CONSTRUCTION
OF ROAD AND DECK PARKING BETWEEN
SITE AND OFFICE DEVELOPMENT IS IN
PLACE FOR THE PROPOSED USE

811
Know what's below.
Call before you dig.

24 HOUR CONTACT:
WAYNE EDY @ 404-867-9734



Exhibit F, Page 3

AREA TO BE REVISED PER PROPOSED PARK PLAN

SITE DATA:	
TOTAL SITE AREA	3.14 ACRES
ZONING	SR-12 (SR, 1990)
EXISTING ZONING	SR-12 (SR, 1990)
EXISTING JURISDICTION	COBB COUNTY
DENSITY CALCULATIONS:	
TOTAL UNITS	95.54 UNITS/ACRE
SETBACKS:	
FRONT YARD SETBACK (MINIMUM)	25 FEET
REAR YARD SETBACK (MINIMUM)	10 FEET
SIDE YARD SETBACK (MINIMUM)	5 FEET
PARKING CALCULATIONS:	
EXISTING PARKING DECK SPACES	10 SPACES
NEW PARKING DECK SPACES	85 SPACES
TOTAL SPACES PER UNIT PROVIDED	1.1 SPACES/UNIT

Site Plan Notes:

No permanent sign(s), flag pole(s), proposed fire hydrants or power transformers will be placed in conflict with an ordinance coded or approved tree planting location.

The Cobb County Arborist or Landscape Architect must approve the site lighting plan. Light poles are not permitted in parking peninsulas, islands and medians without the prior approval of the County Arborist. 20' minimum spacing is required between the trunk of any proposed over-story hardwood tree (or existing tree counted for tree ordinance credit) and any existing or proposed light pole. If the service provider (electric company) produces a lighting plan, it must adhere to the lighting plan shown in the civil engineering drawings approved by Cobb County for the land disturbance permit. If a lighting plan is not part of the civil drawings, the lighting plan designer must submit a plan to the Arborist/Landscape Architect for review and approval. If site lighting is installed without an approved plan, the Certificate of Occupancy will be withheld until all conflicting power poles are moved. Call 770-528-2124.

The site contractor shall coordinate service routing of all gas, telephone and electrical lines with the appropriate utility company. All construction shall comply with all utility standards and specifications and not interfere with tree planting sites or existing trees to be preserved.

SGN+A
 Planning • Architecture
 Landscape Architecture
 SGN+A, Inc.
 315 W. POINCE DE LÉON AVENUE
 SUITE 755
 ATLANTA, GEORGIA 30308
 TEL 404.373.7270
 FAX 404.373.7372
 WWW.SGNPLA.COM



Revisions:	Date	Description
02/28/16	02/28/16	Client Feedback
02/28/16	02/28/16	Client Feedback

**Broadstone
 Windy
 Ridge**

Atlanta, Georgia

A Residential Development by
 Alliance Realty
 Partners, LLC
 Alliance Multifamily
 Builders, LLC

This drawing as an instrument of
 services, is and shall remain the
 property of SGN+A and shall not
 be reproduced, stored in a retrieval
 system, or transmitted in any way
 without permission of
 SGN+A, Inc.

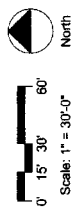
Sheet Title:
 Tree Permit Plan

Date:
 12 February 2016

Sheet Number:



Tree Species	Quantity	Notes
1.4E-3	1	
1.4E-4	1	
1.4E-5	1	
1.4E-6	1	
1.4E-7	1	
1.4E-8	1	
1.4E-9	1	
1.4E-10	1	
1.4E-11	1	
1.4E-12	1	
1.4E-13	1	
1.4E-14	1	
1.4E-15	1	
1.4E-16	1	
1.4E-17	1	
1.4E-18	1	
1.4E-19	1	
1.4E-20	1	
1.4E-21	1	
1.4E-22	1	
1.4E-23	1	
1.4E-24	1	
1.4E-25	1	
1.4E-26	1	
1.4E-27	1	
1.4E-28	1	
1.4E-29	1	
1.4E-30	1	



**MINUTES OF ZONING HEARING
COBB COUNTY BOARD OF COMMISSIONERS
JUNE 16, 2015
9:00 A.M.**

The Board of Commissioners Zoning Hearing was held on Tuesday, June 16, 2015 at 9:00 a.m. in the second floor public meeting room of the Cobb County building, Marietta, Georgia. Present and comprising a quorum of the Board were:

Chairman Tim Lee
Commissioner JoAnn Birrell
Commissioner Lisa Cupid
Commissioner Bob Ott
Commissioner Bob Weatherford

Z-27

LYNWOOD DEVELOPMENT GROUP, LLC (BSD Power II, LLC and Park Point Land, LLC, owners) requesting Rezoning from **OHR** to **UVC** for the purpose of Mixed Use in Land Lots 985 and 1008 of the 17th District. Located at the southwest intersection of Powers Ferry Road and Windy Ridge Parkway. *(Previously continued by the Board of Commissioners from their March 17, 2015 hearing, previously continued by Staff from the April 21, 2015 Board of Commissioners' hearing and previously held by the Board of Commissioners from their May 19, 2015 hearing)*

The public hearing was opened and Mr. Kevin Moore, Mr. Todd Oglesby, Mr. Charles Coffin, and Ms. Maryli Marcos addressed the Board. Following presentation and discussion, the following motion was made:

MOTION: Motion by Ott, second by Birrell, to **hold** Z-27 until the July 21, 2015 Board of Commissioners Zoning Hearing.

VOTE: **FAILED** 2-3, Lee, Cupid, Weatherford opposed

SUBSTITUTE MOTION

MOTION: Motion by Weatherford, second by Lee, to **approve** Z-27 to the **UVC** zoning category, subject to:

- Site plan submitted to the Zoning Division on April 16, 2015, with the District Commissioner approving minor modifications (attached and made part of these minutes)
- Letter of agreeable conditions from Mr. Kevin Moore dated April 16, 2015 (attached and made a part of these minutes), including an amendment to the letter titled "*Proposed Stipulations*" submitted at this hearing (attached and made a part of these minutes)
- Water and Sewer Division comments and recommendations, *not otherwise in conflict*
- Stormwater Management Division comments and recommendations, *not otherwise in conflict*

**MINUTES OF ZONING HEARING
COBB COUNTY BOARD OF COMMISSIONERS
JUNE 16, 2015
9:00 A.M.**

The Board of Commissioners Zoning Hearing was held on Tuesday, June 16, 2015 at 9:00 a.m. in the second floor public meeting room of the Cobb County building, Marietta, Georgia. Present and comprising a quorum of the Board were:

Chairman Tim Lee
Commissioner JoAnn Birrell
Commissioner Lisa Cupid
Commissioner Bob Ott
Commissioner Bob Weatherford

REGULAR AGENDA (CONT.)

Z-27 LYNWOOD DEVELOPMENT GROUP, LLC (CONT.)

- **Cobb DOT comments and recommendations, *not otherwise in conflict***
- **Owner/developer to enter into a Development Agreement pursuant to O.C.G.A. §36-71-13 for dedication of system improvements to mitigate traffic concerns**

VOTE: ADOPTED 4-1, Ott opposed

MOORE INGRAM JOHNSON & STEELE

A LIMITED LIABILITY PARTNERSHIP
WWW.MIJS.COM

JOHN H. MOORE
STEPHEN C. STEELE
WILLIAM R. JOHNSON†
ROBERT D. INGRAM†
J. BRIAN O'NEIL
G. PHILLIP BEGGS
ELDON L. BASHAM
MATTHEW J. HOWARD
JERE C. SMITH
CLAYTON O. CARMACK
KEVIN B. CARLOCK†
ALEXANDER T. GALLOWAY III†
J. KEVIN MOORE
RODNEY R. MCCOLLOCH
SUSAN S. STUART
BRIAN D. SMITH
HARRY R. TEAR III
W. TROY HART†
JEFFREY A. DAXE
KIM A. ROPER†
VICTOR P. VALMUS
ANGELA H. SMITH†
CHRISTOPHER C. MINGLEDORFF†
ANGELA D. TARTLINE

JOYCE W. HARPER
CAREY E. OLSON*
CHARLES E. PIERCE*
WILMA R. BUSH
GREGORY H. FULLER*
TODD I. HEIRD*
ALEXANDER B. MORRISON*
DOUGLAS W. BUTLER, JR.
CARLA C. WESTER†
AMY L. JETT*
RYAN M. INGRAM
SHAWN G. SHELTON
D. AUSTIN GILLIS
KRISTEN C. STEVENSON*
SARAH H. BEST†
RYAN C. EDENS*
JULIE C. FULLER*
JODI B. LODEN*
TAMMI L. BROWN
DAVID A. HURTADO
J. MARSHALL WEHUNT
JONATHAN J. SMITH
TRISTAN B. MORRISON****
WILLIAM B. WARIHAY*

MARIETTA, GEORGIA
EMERSON OVERLOOK
326 ROSWELL ST
MARIETTA, GEORGIA 30060
TELEPHONE (770) 429-1499

KNOXVILLE, TENNESSEE
408 N. CEDAR BLUFF RD • STE 500
KNOXVILLE, TENNESSEE 37923
TELEPHONE (865) 692-9039

JACKSONVILLE, FLORIDA
10151 DEERWOOD PARK BLVD • BLDG 260, STE 250
JACKSONVILLE, FLORIDA 32258
TELEPHONE (904) 428-1465

NASHVILLE, TENNESSEE
3200 WEST END AVE • STE 500
NASHVILLE, TENNESSEE 37203
TELEPHONE (615) 425-7347

LEXINGTON, KENTUCKY
2333 ALEXANDRIA DRIVE
LEXINGTON, KENTUCKY 40504
TELEPHONE (502) 410-6021

CHARLESTON, SOUTH CAROLINA
885 ISLAND PARK DR • STE B
CHARLESTON, SOUTH CAROLINA 29492
TELEPHONE (843) 302-0002

ORLANDO, FLORIDA
7380 W. SAND LAKE RD • STE 500
ORLANDO, FLORIDA 32819
TELEPHONE (407) 397-8233

COLLEEN K. HORN****
DAVID J. OTTEN*
JONATHAN S. FUTRELL
NORBERT D. HUMMEL, IV
DAVID P. CONLEY
B. CHASE ELLEBY
TYLER R. MORGAN*
MARIANNA L. JABLONSKI*
LOURDES SANCERNI-FULTON†
LEAH C. FOX*
ALISHA I. WYATT-BULLMAN†
J. DANIEL COLE
RYAN S. ROBINSON
JOSEPH D. SHELLEY
LESLIE S. SMITH
CHRISTOPHER L. JOHNSON
CHRISTIAN H. LAYCOCK
LIZA D. HARRELL**
JESSICA A. KING
JOHN A. EARLY
CHRISTOPHER W. SHERMAN*
JESS E. MAPLES*
FREDERICK F. FISHER***
KENNETH D. HALL

RAHUL SHETH
GRANT S. TALL
NIGEL P. VORBRICH*
KIMBERLY E. THOMPSON*
E. SHANE BRANHAM*
BRENT R. LAMAN*
CHRISTOPHER R. BROOKS*

OF COUNSEL:
JOHN L. SKELTON, JR.†

† ALSO ADMITTED IN TN
* ALSO ADMITTED IN FL
**** ALSO ADMITTED IN GA
* ALSO ADMITTED IN TX
* ALSO ADMITTED IN AL
† ALSO ADMITTED IN KY
+ ALSO ADMITTED IN SC
* ALSO ADMITTED IN NC
** ALSO ADMITTED IN IN
* ADMITTED ONLY IN TN
‡ ADMITTED ONLY IN FL
*** ADMITTED ONLY IN SC
‡ ADMITTED ONLY IN KY

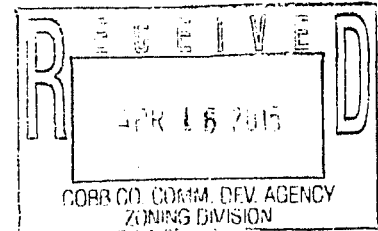
Min. Bk. 76 Petition No. Z-27

Doc. Type letter

Meeting Date 6-16-15

April 16, 2015

Hand Delivered



Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Suite 400
1150 Powder Springs Road
Marietta, Georgia 30064

RE: Application for Rezoning - Application No. Z-27 (2015)
Applicant: Lynwood Development Group, LLC
Property Owners: BSD Power II, LLC and Park Point Land, LLC
Property: 3.14 acres, more or less, located on the southerly side of Powers Ferry Road and the westerly side of Windy Ridge Parkway, Land Lots 985 and 1008, 17th District, 2nd Section, Cobb County, Georgia

Dear John:

The undersigned and this firm represent Lynwood Development, LLC, the Applicant (hereinafter "Applicant"), in its Application for Rezoning with regard to property located on the southerly side of Powers Ferry Road and the westerly side of Windy Ridge Parkway, being 3.14 acres, more or less, in Land Lots 985 and 1008, 17th District, 2nd Section, Cobb County, Georgia (hereinafter the "Property" or "Subject Property"). After meetings and discussions with planning and zoning staff and various Cobb County departmental representatives, ongoing discussions and meetings with area civic and homeowner representatives and area residents, reviewing the staff

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb-County Community Development Agency
Page 2 of 10
April 16, 2015

Petition No. 2-27
Meeting Date 6-16-15
Continued

comments and recommendations and the uses of surrounding properties, and following the presentation to the Cobb County Planning Commission, we have been authorized by the Applicant to submit this revised letter of agreeable stipulations and conditions which, if the Application for Rezoning is approved, as submitted, shall become a part of the grant of the requested zoning and shall be binding upon the Subject Property. This letter shall supersede and replace in full the previous letter of agreeable stipulations and conditions dated February 25, 2015, and filed with the Cobb County Zoning Office on February 26, 2015. The revised, proposed stipulations are as follows:

- (1) The stipulations and conditions set forth herein shall replace and supersede in full any and all prior stipulations and conditions, in whatsoever form, which are currently in place on the Subject Property; together with any and all prior Departmental Comments and Staff Recommendations submitted by Planning, Fire, Water, Sewer, and Drainage, relating to the Subject Property from any previous zoning actions.
- (2) Applicant seeks rezoning of the Subject Property from the existing zoning category of Office High Rise ("OHR") to the proposed zoning category of Urban Village Commercial ("UVC"), site plan specific to the revised Rezoning Site Plan prepared for Applicant by Planners and Engineers Collaborative dated December 29, 2014, last revised April 15, 2015. A reduced copy of the revised Rezoning Site Plan is attached hereto for ease of reference as Exhibit "A" and incorporated herein by reference.
- (3) By this revised letter of agreeable stipulations and conditions, Applicant amends its Application for Rezoning to include the revised Zoning Site Plan for the proposed development hereinabove referenced, same being prepared for Applicant by Planners and Engineers Collaborative dated December 29, 2014, last revised April 15, 2015, and filed contemporaneously herewith.
- (4) The Subject Property consists of approximately 3.14 acres of total site area and shall be developed for a mixed-use development consisting of residential units and supporting commercial development.

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 3 of 10
April 16, 2015

Petition No. 2-27
Meeting Date 6-16-15
Continued

I. COMMERCIAL COMPONENT

- (1) The commercial component shall consist of a minimum of 8,000 square feet along the entire frontage of Powers Ferry Road, and may include specialty shops such as coffee, sundries, fitness, general merchandise, alcohol sales and consumption, restaurants, shared “hotspot” workspace, and other like businesses or establishments, which may be shared as business and fitness centers for the overall development.
- (2) Applicant agrees the exteriors and architectural appearance of the commercial component, shall be substantially similar to the renderings attached hereto as Exhibit “B,” including a combination of glass and brick with patio and outdoor seating areas ranging from twelve (12) to more than eighteen (18) feet in width and designed to engage the Powers Ferry Road corridor from a pedestrian perspective, but so as not to impede pedestrian traffic.
- (3) Applicant agrees that the minimum floor to finished ceiling height within the commercial component shall be twelve (12) feet.

II. RESIDENTIAL COMPONENT

- (1) The residential component of the proposed development shall consist of one building, a maximum of six (6) stories in height, with a maximum of two hundred eighty (280) total residential units.
- (2) Units within the proposed residential development shall consist of one and two-bedrooms, and range in square footage from 700 square feet to 1,400 square feet per unit, and possibly greater.
- (3) Floor plans and finishes within the units shall consist, at a minimum, of the following:
 - (a) Enhanced Corian, granite, marble, or other solid surface counter tops;
 - (b) Minimum ceiling heights:
 - i) Minimum nine (9) feet from floor to finished ceiling and greater; and

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 4 of 10
April 16, 2015

Petition No. Z-27
Meeting Date 6-16-15
Continued

- ii) Minimum ten (10) feet between floors;
 - (c) Wood frame cabinetry or equivalent;
 - (d) High-end appliances consistent with luxury apartment and condominium finishes;
 - (e) Extra deep stainless steel kitchen sinks;
 - (f) Ceramic tile, wood plank and high-end carpet throughout;
 - (g) Spacious, open floor plans;
 - (h) Brushed chrome or oiled rubbed bronze bathroom and kitchen fixtures;
 - (i) Ceramic tile bathrooms and laundry rooms;
 - (j) Spacious walk-in closets;
 - (k) High-speed internet wiring in all units;
 - (l) Window treatments throughout the units to present a uniform appearance;
 - (m) Tile tub surround and tile showers in select units;
 - (n) Upgraded wood trim package throughout each unit;
 - (o) First-class landscape and hardscape throughout the proposed development;
 - (p) Energy-efficient construction which will exceed the Georgia Energy Code;
 - (q) Double-paned, insulated windows in all units; and
 - (r) Controlled access building and amenity areas.
- (4) The exterior façade of the building will be responsive to the site and surrounding area and shall consist of brick, stone, stacked stone, stone-type materials, stucco-type materials, hardi or metal-panel, masonry, cement fiber, and glass, or any

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 5 of 10
April 16, 2015

Petition No. 2-27
Meeting Date 6-16-15
Continued

combinations thereof, on all four (4) sides. A copy of the rendering of the proposed building is attached hereto as Exhibit "C" and incorporated herein by reference.

- (5) All units within the proposed residential community may be leased in accordance with the UVC category. The units shall be converted to "for sale" units at such time as market conditions allow as determined by the primary lending institutions, at any given time, financing the subject development.
- (6) Upon conversion of the units to "for sale" condominium units, the units shall be made subject to the Georgia Condominium Act and shall comply in all respects therewith. The submission of these units to the Georgia Condominium Act shall be concurrent with the conversion of the units to "for sale" units. Upon such conversion, Applicant agrees to the recording and enforcement of a Declaration of Condominium which shall contain covenants, rules, and regulations applicable to the proposed residential condominium community.
- (7) Additionally, and in conjunction with the submission of the community to the Georgia Condominium Act, Applicant agrees to the creation of a mandatory condominium association which shall be responsible for the upkeep and maintenance of the entrance areas, all common areas, amenity areas, and the like, contained within the residential condominium community.
- (8) Upon conversion of the units to "for sale" units, there shall be established a restrictive covenant which limits the number of units which can be leased or rented at any one time to a maximum of ten (10) percent of the total number of units, or as allowed by any federal agency.
- (9) The proposed residential community shall have a state-of-the art recreational facility and unique amenity area for the use and enjoyment of its residents, as follows:
 - (a) Pool;
 - (b) Clubhouse, which will feature a media lounge and coffee bar;
 - (c) Fitness center, which will be fully equipped with weight training equipment; as well as a separate yoga studio and computerized aerobic training system;

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 6 of 10
April 16, 2015

Petition No. 2-27
Meeting Date 6-16-15
Continued

- (d) Outside courtyard;
- (e) Bicycle racks; and
- (f) Controlled access.

STIPULATIONS APPLICABLE TO THE OVERALL DEVELOPMENT

- (1) Access to the proposed development shall be means of the existing access points to the office high-rise building; namely, the main access on Powers Ferry Road and the private road access from Windy Ridge Parkway, as more particularly shown and reflected on the referenced Rezoning Site Plan.
- (2) Parking for the commercial and residential components of the proposed project will be provided within the existing parking deck servicing the adjacent office high-rise building; as well as or within a multi-level addition to the existing parking deck, which will employ "shared" parking among the respective components and which will provide sufficient and adequate parking for the total development based on parking for the residents at a minimum ratio of one (1) space per bedroom and the Modified ULI Shared Parking demand ratios.
- (3) Overall lighting within the proposed development shall be environmentally sensitive, decorative, and themed to the architecture and style of the building. More specifically, proposed pedestrian lighting will be similar in nature and style to the Pedestrian Lighting Concepts attached hereto as Exhibit "D" and incorporated herein by reference so as to create a distinctive pedestrian-friendly location within the Powers Ferry Road corridor. The final pedestrian lighting style and concept will be subject to approval by the District Commissioner during the plan review process.
- (4) Additionally, hooded lighting shall be utilized on the building and throughout the walkways, surface parking area, and parking garage.
- (5) Signage for the proposed development shall be ground based, monument style, and shall be constructed in a style and of materials which are complementary to the proposed building; excepting only, building, commercial/tenant identification signage and directional signage. More specifically, signage for the commercial

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 7 of 10
April 16, 2015

Petition No. 2-27
Meeting Date 6-16-15
Continued

portion of the development will be similar in style and distinction to those shown on the Signage Concepts attached hereto as Exhibit "E" and incorporated herein by reference. The final signage package for the overall development, including commercial signage shall be subject to the approval of the District Commissioner during the plan review process.

- (6) All construction and employee vehicles and equipment will be parked, and otherwise located on, the Subject Property, or the adjacent office parking, during development of infrastructure and construction of the residential building.
- (7) The setbacks for the proposed community shall be as follows:
 - (a) Front setback - Twenty-five (25) feet;
 - (b) Rear setback - Twenty-five (25) feet;
 - (c) Major side setback - Twenty-five (25) feet; and
 - (d) Minor side setback - Zero (0) feet.
- (8) The maximum impervious surface area shall be sixty-five (65) percent.
- (9) Landscaping for the entrance area, sign areas, amenity and courtyard areas, and all other common areas immediately surrounding the proposed building shall be professionally designed, implemented, and maintained.
- (10) All utilities servicing units within the proposed development shall be underground.
- (11) Applicant shall be allowed to provide for a gated development pursuant to Cobb County standards.
- (12) The District Commissioner shall have the authority to approve minor modifications to these stipulations and the Rezoning Site Plan as the development proceeds through the Plan Review process and thereafter. For purposes of this paragraph, any modifications that increase density; reduce the size or composition of an approved buffer or landscape strip to adjacent property; relocate a structure closer to a property line; or, increase the height of a building adjacent to property which are in direct contradiction to or conflict with the foregoing stipulations, will

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 8 of 10
April 16, 2015

Petition No. 2-27
Meeting Date 6-16-15
Continued

come back through the public hearing process as an "Other Business" Application."

- (13) Any retaining walls exposed to public rights-of-way or adjoining properties shall be faced with hard surface materials such as brick, stone, stacked stone, or split-faced segment block wall.
- (14) Any sidewalk, curb, or guttering damaged or destroyed during construction shall be repaired or fully replaced following completion of the project.
- (15) All buffer areas may be penetrated for purposes of access, utilities, and stormwater management; including, but not limited to, detention/retention facilities, drainage facilities, trails, and any and all slopes or other required engineering features of the foregoing.
- (16) Applicant agrees to comply with all Cobb County Stormwater Management requirements applicable to the Subject Property.
- (17) All landscaping referenced herein shall be approved by the Cobb County Arborist as part of the plan review process and incorporated into the overall landscape plan for the proposed development.
- (18) Applicant agrees to comply with all Cobb County development standards and ordinances relating to project improvements, except as approved by the Board of Commissioners or by the Department of Transportation or Community Development Agency, as their authority may allow.

We believe the requested zoning, pursuant to the revised Rezoning Site Plan and the stipulations set forth herein, conforms to the vision established in the Powers Ferry Master Plan and is an appropriate use of the Subject Property. This project will be of the highest quality and will make an immediate contribution of critically needed, higher quality housing to the Powers Ferry Road's residential base.

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 9 of 10
April 16, 2015

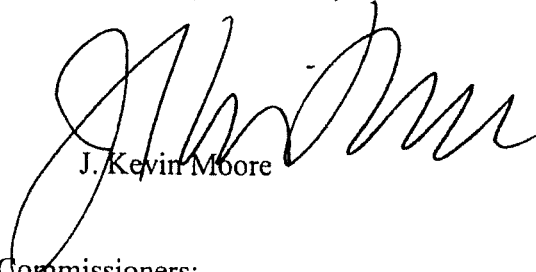
Petition No. 2-27
Meeting Date 6-16-15
Continued

Thank you for your consideration in this request.

With kindest regards, I remain

Very truly yours,

MOORE, INGRAM, JOHNSON & STEELE, LLP



J. Kevin Moore

JKM:cc

Attachments

c: Cobb County Board of Commissioners:
Timothy D. Lee, Chairman
JoAnn Birrell
Lisa N. Cupid
Robert J. Ott
Bob Weatherford
(With Copies of Attachments)

Jason A. Campbell
Planner III
Zoning Division
Cobb County Community Development Agency
(With Copies of Attachments)

Charles H. Coffin
(With Copies of Attachments)

Sheldon Schlegman
The Horizon Condominiums
(With Copies of Attachments)

Sheri George
Vice President
Terrell Mill Community Association
(With Copies of Attachments)

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Page 10 of 10
April 16, 2015

Petition No. Z-27
Meeting Date 6-16-15
Continued

c: Lynwood Development Group, LLC
(With Copies of Attachments)

Alliance Residential Company
(With Copies of Attachments)

PLANNERS AND ENGINEERS COLLABORATIVE
 WE PROVIDE SOLUTIONS™
 SITE PLANNING ARCHITECTURE CIVIL ENGINEERING LAND SURVEYING
 305 BEECH COURT • MARIETTA, GEORGIA 30067 • (770) 571-7141 FAX (770) 571-7142 WWW.PECCOL.COM

Lynwood Development Group, LLC
 A MASTER PLANNED RESIDENTIAL COMMUNITY
Park Point
 480 LORAIN AVENUE, SUITE 100
 ATLANTA, GEORGIA 30308
 PHONE: 404-525-4388
 FAX: 404-525-4389

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/15/14	ISSUED FOR PERMITS
2	11/15/14	ISSUED FOR PERMITS
3	11/15/14	ISSUED FOR PERMITS
4	11/15/14	ISSUED FOR PERMITS
5	11/15/14	ISSUED FOR PERMITS
6	11/15/14	ISSUED FOR PERMITS
7	11/15/14	ISSUED FOR PERMITS
8	11/15/14	ISSUED FOR PERMITS
9	11/15/14	ISSUED FOR PERMITS
10	11/15/14	ISSUED FOR PERMITS
11	11/15/14	ISSUED FOR PERMITS
12	11/15/14	ISSUED FOR PERMITS
13	11/15/14	ISSUED FOR PERMITS
14	11/15/14	ISSUED FOR PERMITS
15	11/15/14	ISSUED FOR PERMITS
16	11/15/14	ISSUED FOR PERMITS
17	11/15/14	ISSUED FOR PERMITS
18	11/15/14	ISSUED FOR PERMITS
19	11/15/14	ISSUED FOR PERMITS
20	11/15/14	ISSUED FOR PERMITS

REZONING SITE PLAN

SCALE: 1" = 50'
 DATE: DEC 23, 2014
 PROJECT: REZONING

811
 Know what's below. Call every year day.

Z1
 SHEET

SITE DATA:

TOTAL SITE AREA: 11.1 ACRES

ZONING: R-10

EXISTING USE: RESIDENTIAL SINGLE-FAMILY

PROPOSED USE: RESIDENTIAL MEDIUM-DENSITY

DEVELOPER: LYNWOOD DEVELOPMENT GROUP, LLC

DESIGNER: PLANNERS AND ENGINEERS COLLABORATIVE

DATE: 11/15/14

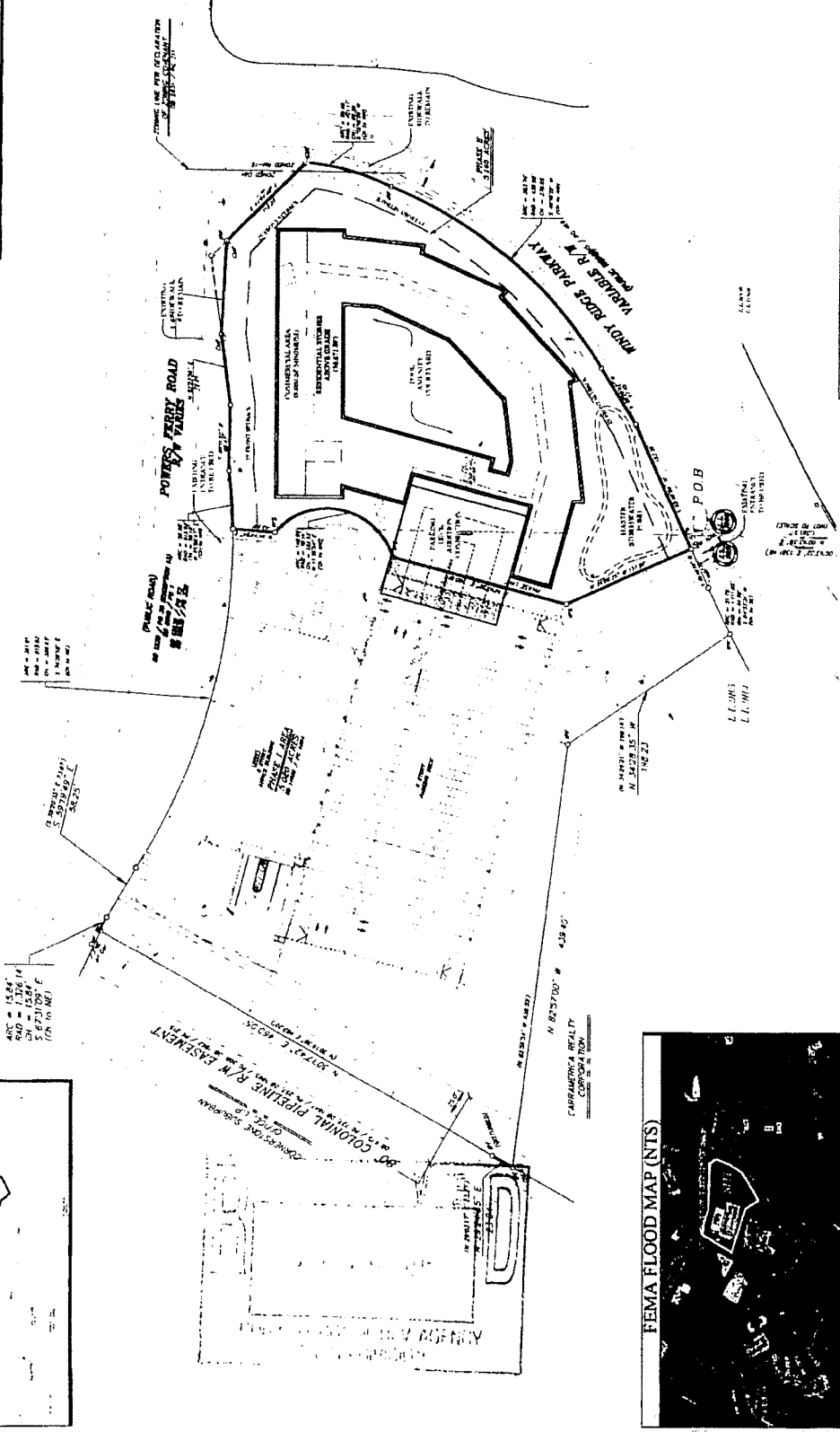
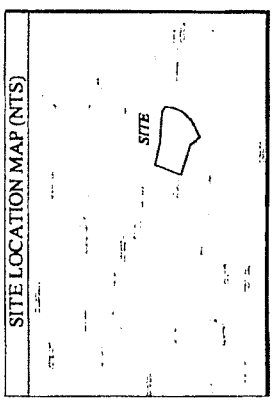
PROJECT NO.: 14-001

PROJECT NAME: PARK POINT

PROJECT ADDRESS: 1115 PARK POINT DRIVE, ATLANTA, GA 30308

PROJECT CONTACT: JEFFREY W. HARRIS, PROJECT MANAGER, PH: 404-525-4388, FAX: 404-525-4389, WWW.PECCOL.COM

Petition No. 2-27
 Meeting Date 6-16-15
 Continued



PARKING NOTE:

1. PARKING IS PROVIDED FOR THE ENTIRE SITE. THE EXISTING PARKING IS TO BE MAINTAINED AND THE NEW PARKING IS TO BE PROVIDED AS SHOWN ON THIS PLAN. THE TOTAL PARKING IS TO BE 100 SPACES. THE PARKING IS TO BE PROVIDED AS SHOWN ON THIS PLAN. THE TOTAL PARKING IS TO BE 100 SPACES. THE PARKING IS TO BE PROVIDED AS SHOWN ON THIS PLAN. THE TOTAL PARKING IS TO BE 100 SPACES.

EXHIBIT "A"

Petition No. z-27
Meeting Date 6-16-15
Continued

June 16 2015

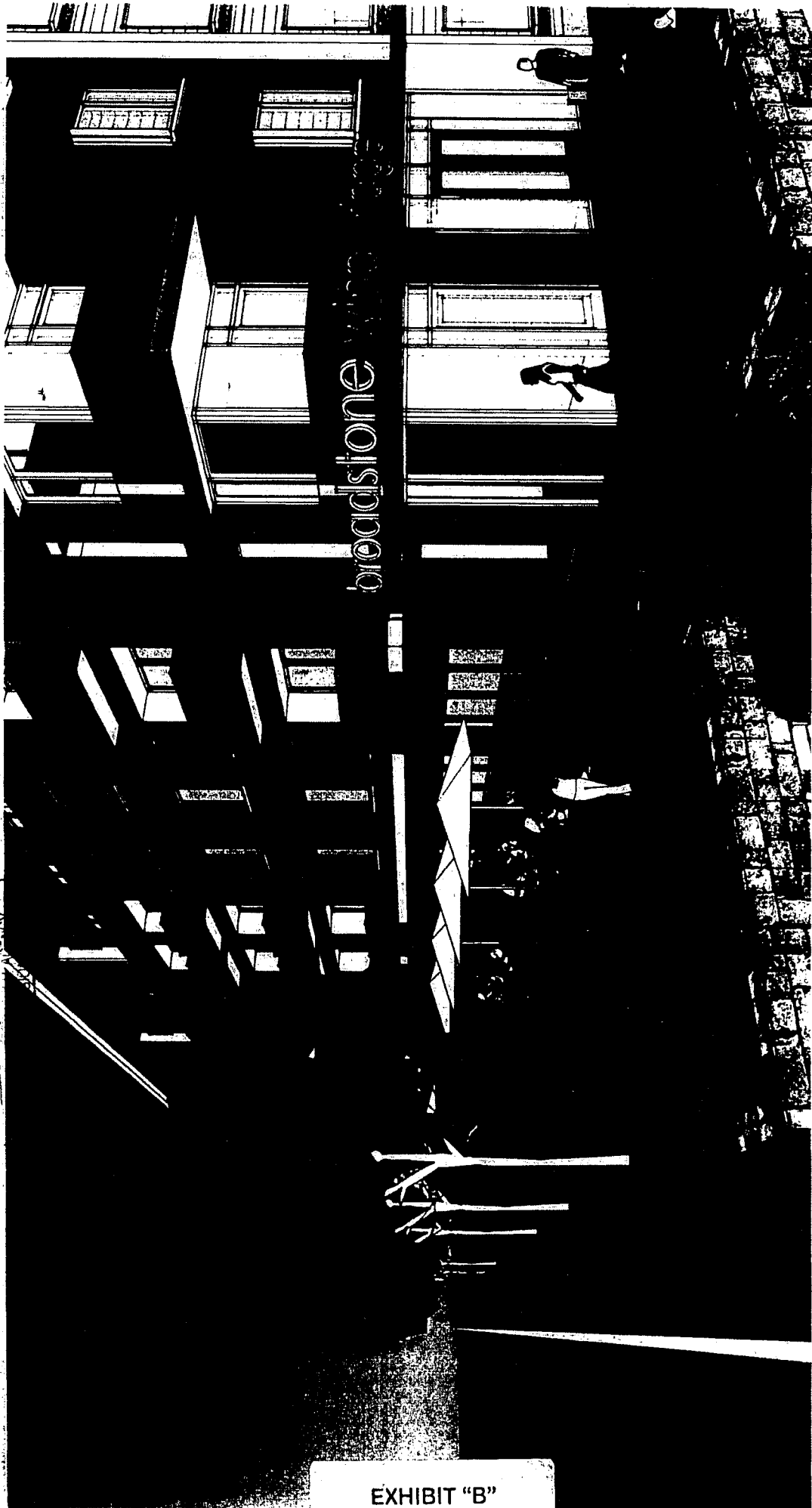
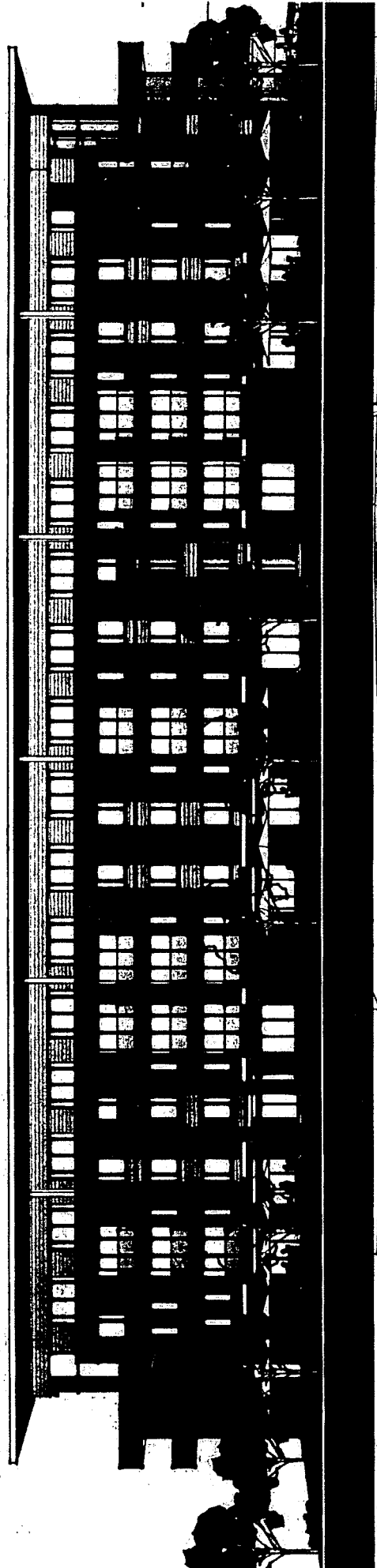
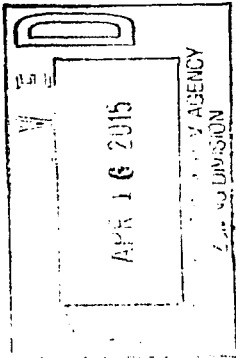


EXHIBIT "B"

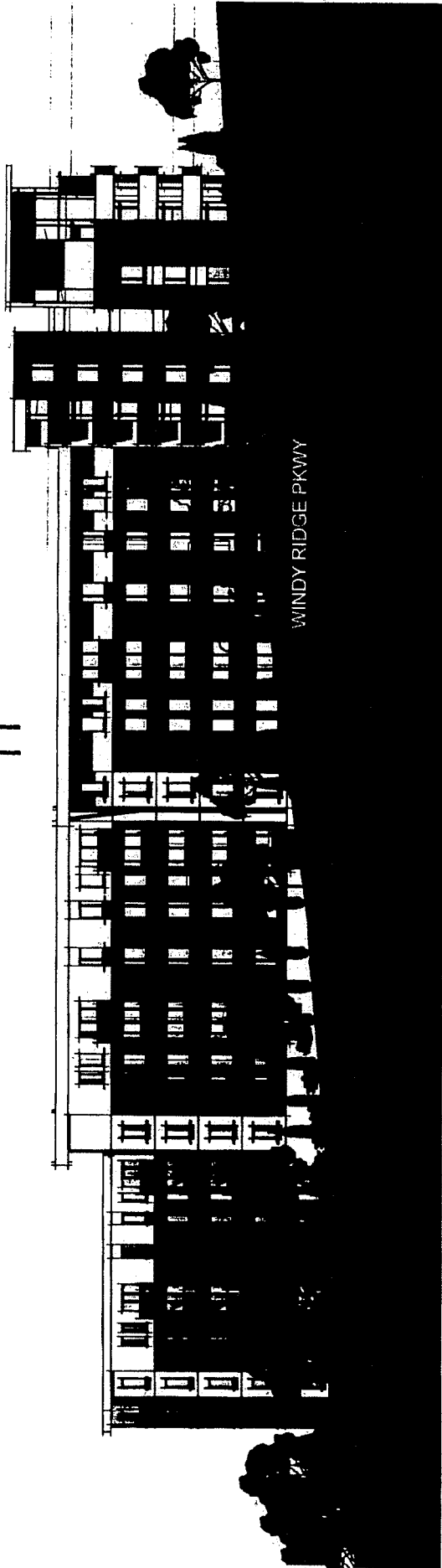
Petition No. 2-27
Meeting Date 6-16-15
Continued



Petition No. 2-27
Meeting Date 6-16-15
Continued



EXISTING
OFFICE TOWER



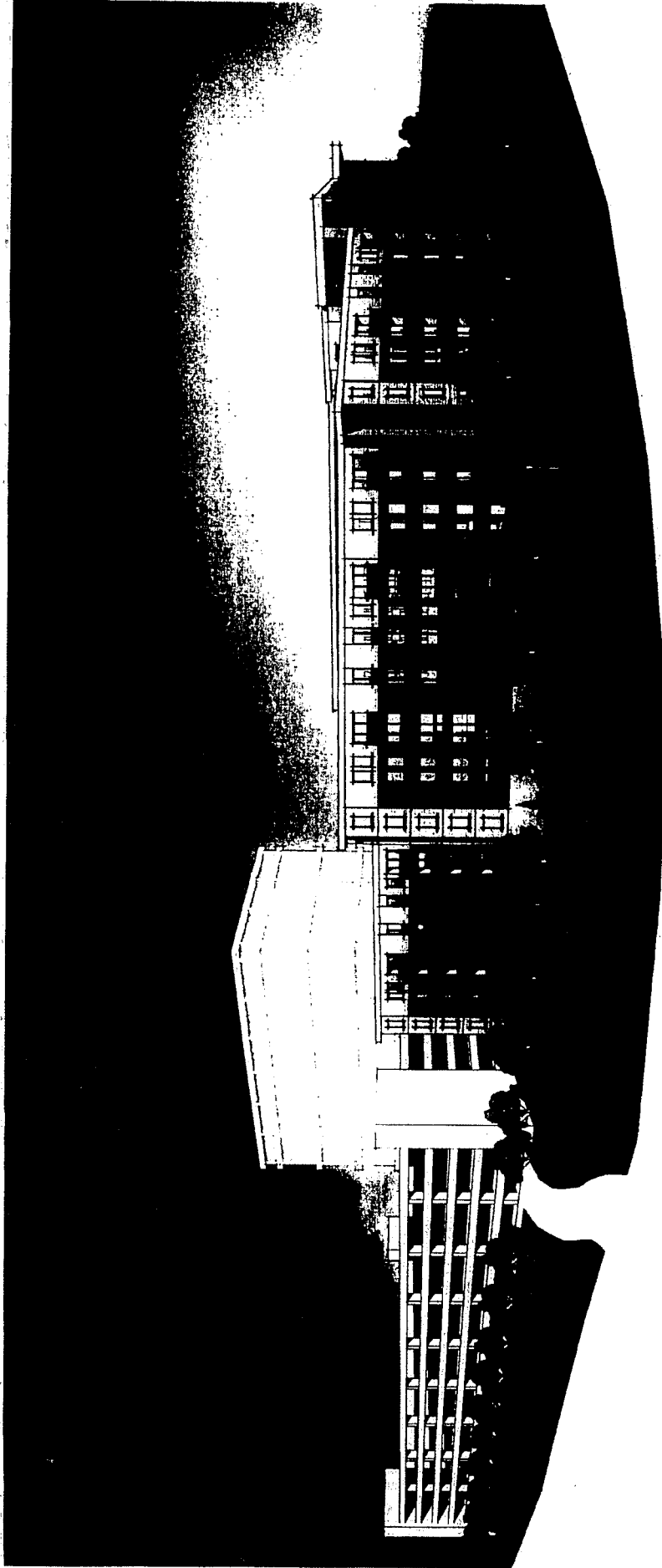
EAST ELEVATION @ WINDY RIDGE PKWY

EXHIBIT "C"

Windy Ridge
Project P0320-14

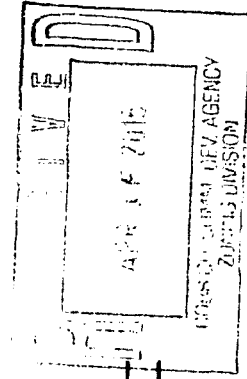
Powers Ferry Road at Windy Ridge Parkway, Marietta

Massing Diagram
01.29.15



PERSPECTIVE @ WINDY RIDGE PKWY - SOUTH

Petition No. 2-27
Meeting Date 6-16-15
Continued



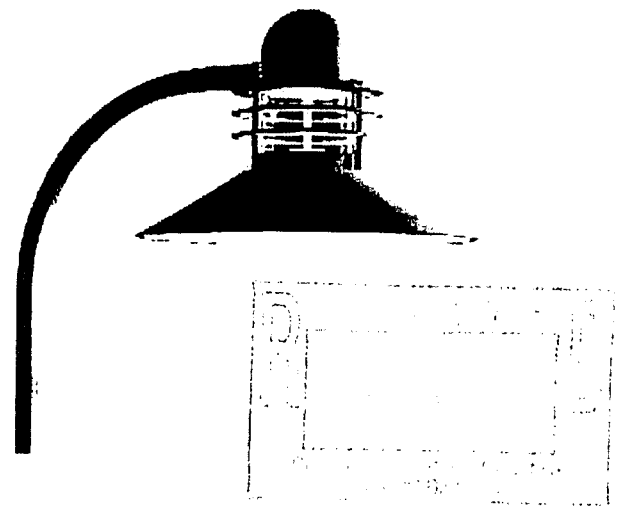
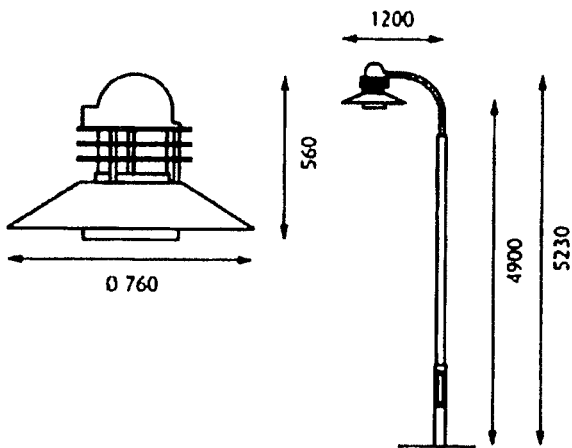
Windy Ridge
Project: PC020-14

Powers Ferry Road at Windy Ridge Parkway, Merietta

Massing Diagram
01.29.15

Streetscape Lighting

Creating a safe and inviting environment is the main goal for the commercial area street lighting plan.



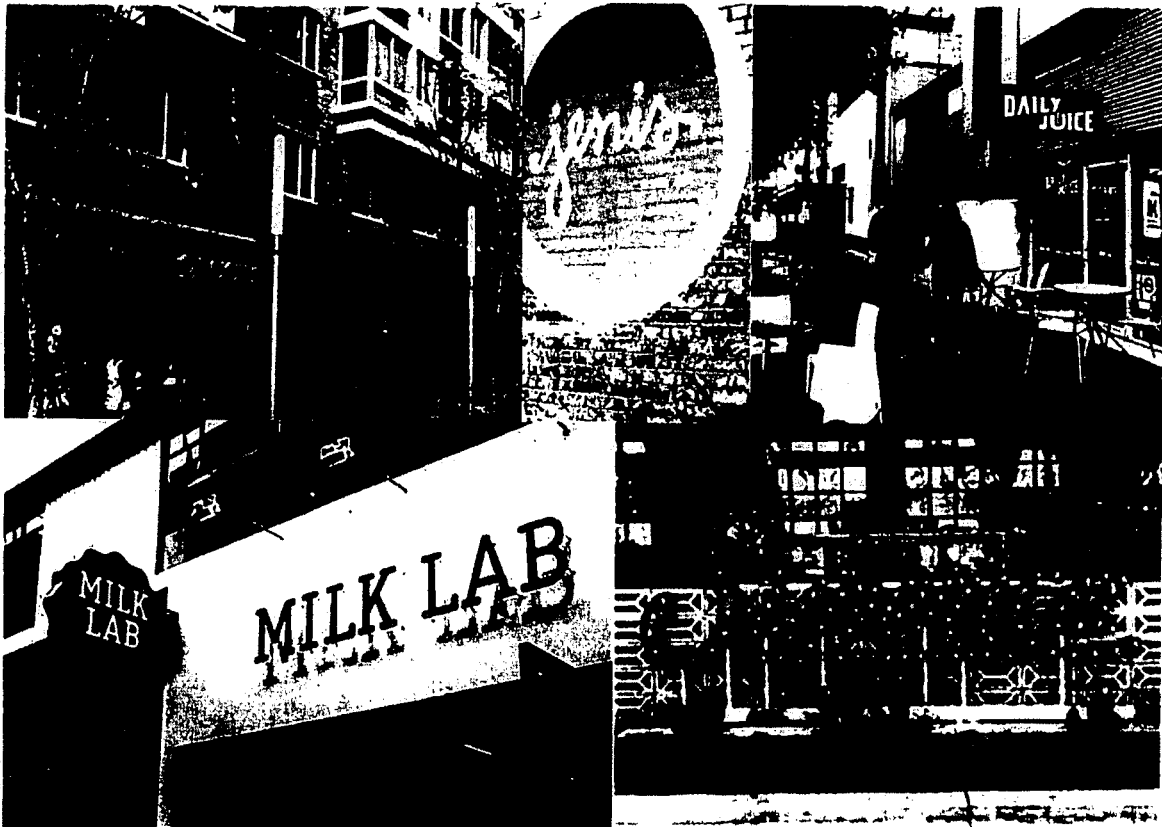
The town center style street lamps create a vintage look and are aesthetically pleasing. The fixtures illuminate adjacent sidewalks and storefronts providing opportunity for evening strolls and community gathering.

Petition No. 2-27
Meeting Date 6-16-15
Continued

Commercial Area - Conceptual Signage

Powers Ferry at Windy Ridge

Attractive, updated and fun with personality to match, the signage package provides an urban village feel and a destination to call home.



- Positioning signs at alternate heights and in nontraditional locales provides ideal pedestrian views and creates intimacy.
- Artistic alternative sign formats bring a unique, indie look to the commercial area.
- Allowing for autonomy in sign design, materials and placement avoids a homogenous suburban feel
- Prohibiting the use of back lit florescent signs mitigates a vehicular centric feel.

Petition No. Z-27
Meeting Date 6-16-15
Continued

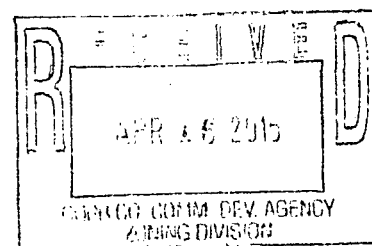


EXHIBIT "E"

Z-27/Lynwood Development
Proposed Stipulations:

(5) All units within the proposed residential community may be leased or purchased in accordance with the UVC category. Applicant and/or subsequent transferees and assigns agrees to actively pursue conversion of all units within the community in accordance with the Georgia Condominium Act to "for sale" units at such time as market conditions allow as determined by the primary lending institutions, at any given time, financing the subject development.

Deleted: All
Deleted: shall be converted

(6) Upon conversion of all units to "for sale" condominium units, all units shall be made subject to the Georgia Condominium Act and shall comply in all respects therewith. The submission of these units to the Georgia Condominium Act shall be concurrent with the conversion of all units to "for sale" units. Upon such conversion, Applicant agrees to the recording and enforcement of a Declaration of Condominium consistent with the Georgia Condominium Act; consistent with the quality of the community as set forth in these stipulations; and which shall contain covenants, rules, and regulations applicable to the proposed residential condominium community. At the time of conversion, a copy of the Declaration of Condominium shall be delivered to the Cobb County Community Development Department.

(7) Additionally, and in conjunction with the submission of the community to the Georgia Condominium Act, Applicant agrees to the creation of a mandatory condominium association which shall be responsible for the upkeep and maintenance of the entrance areas, all common areas, amenity areas, and the like, contained within the residential condominium community.

Min. Bk. 76 Petition No. Z-27
Doc. Type proposed stipulations
Meeting Date 6-16-15

FILED WITH COUNTY CLERK THIS 16 DAY
OF June 20 15 BY K. Moore
RE Z-27
Jeri Barton
COUNTY CLERK/ASST. COUNTY CLERK/DEPUTY COUNTY CLERK
COBB COUNTY, GEORGIA